

A
PRECISE PLAN

FOR

Eastowne BUSINESS PARK

2005 JUN 11 PM 09:40
ST. JOSEPH, MISSOURI

June 7, 2005

PREPARED FOR:

The St. Joseph Business Park Corporation
St. Joseph, Missouri

PREPARED BY:



brian clark
and associates
landscape architecture



Precise Plan
For
Riverside Business Park

Table of Contents:

I. Property Description	10
a. Exhibit 1 – Parcel Boundary Map	11
II. Intent of Precise Plan	12
III. Development Principles	13
IV. Land Use Areas	14
a. Exhibit 2 – Land Use Area Plan	15
V. Development Standards	16
a. Table A - Table of Permitted Uses by Land Use Areas	17
VI. Design Guidelines	18
VII. Implementation and Administration	19

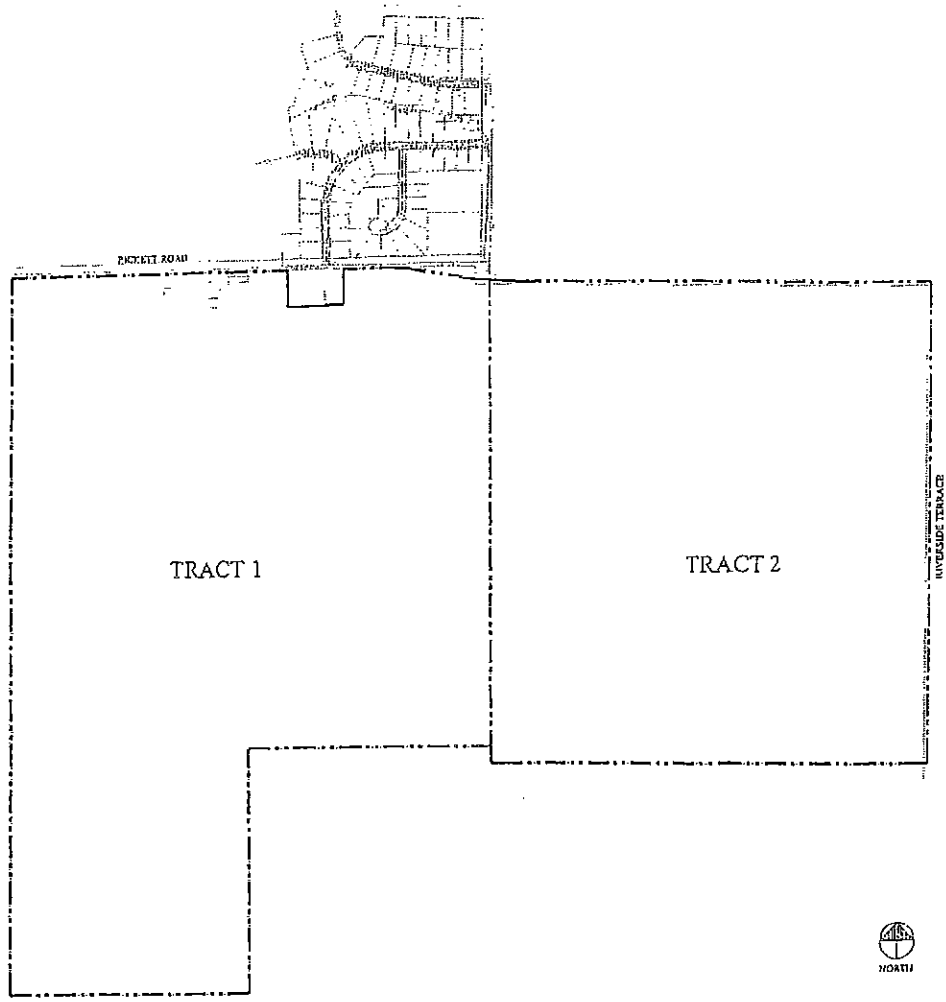
10
11
12
13
14
15
16
17
18
19



ARTICLE I - Property Description

This Precise Plan shall provide the development standards for the property generally located south of Pickett Road on both sides of Riverside Road known as the Riverside Business Park more specifically described as follows:

Exhibit 1
PARCEL BOUNDARY MAP



0710 171 1004902
2004 JUN 11 AM 9:49
16 11 2 1110

JUL 05 2005

Tract 1

The Southeast Quarter (SE ¼) of Section Twenty-four (24) and the Northwest Quarter (NW ¼) of the Northeast Quarter (NE ¼) of Twenty - five (25), all in Township Fifty-seven (57), Range Thirty-five (35), in Buchanan County, Missouri; except beginning at 833.0 feet West of the Northeast Corner Southeast Quarter of Section 24, 57 North, Range 35 West; thence West, along the North line of the said Quarter Section, 106.0 feet; thence South 0 degrees 54 minutes West 210.0 feet; thence East, parallel to the said North line of said Quarter Section 106.0 feet; thence North 0 degrees 54 minutes East 210.0 feet to the point of beginning, containing 0.51 acres, more or less, and also subject to any oil leases and royalty conveyances appearing of record.

Tract 2

The Fractional Southwest Quarter of Section 19, Township 57 North, Range 34 West, of the Fifth P.M. containing 150.71 acres, more or less.

RECORDED
JUL 11 2005

[This Space Intentionally Left Blank]

ARTICLE II – Intent of the Precise Plan

The intent of The Precise Plan for the Riverside Business Park is to allow for the development of approximately 350 acres of undeveloped land in St. Joseph, Missouri in a comprehensive and coordinated manner, creating a high quality environment and increasing land values, while maintaining the flexibility to adapt the plan as market demand changes.

It is the ability of the Precise Plan zoning classification to provide development criteria and design guidelines while maintaining flexibility in land use patterns that make this classification appropriate for use on the Riverside Business Park.

The Precise Plan will:

- Allow for the mixing of land uses in the plan area;
- Allow for the integration of all the impacted surrounding uses and neighborhoods into the development;
- Look at development and planning issues surrounding the plan area and allow a comprehensive strategy to be developed in dealing with them;
- Allow for a wider vision for the plan area and its place in the greater community;
- Allow for flexibility to respond to needs of individual businesses considering St. Joseph;
- Provide open space that is accessible to the neighboring community and that creates an attractive buffer between the residential development to the north and west;
- Allow for the development of high quality standards for design and construction within the plan area that will be compatible with the residential development to the north, as well as the industrial development to the south and west.

Goals for the Plan

Through the use of thoughtful design, land uses mixes, regulated design guidelines and development criteria, infrastructure planning and upgrades and flexibility to meet changing demands, the Riverside Business Park will strive to meet the following goals:

- Create an attractive environment for businesses that provide quality goods and services and quality jobs to the community;
- Create a development integrated in the fabric of the surrounding community, through the use of modified and improved circulation and access, pedestrian dedicated walks, landscape enhancements, thoughtful site planning, and attractive architectural elements;
- Provide development criteria and architectural design guidelines that control the development patterns and the outward appearance of the development and encourage a cohesive and unified development;
- Provide an attractive, uniform, well-designed development that combines various sizes of office, office warehouse, and light industrial facilities;
- Allow flexibility within the plan area to allow the plan to react to changing market conditions, while remaining cohesive and unified;
- Increase the value of the plan property while protecting adjacent property values;

- Create new infrastructure including, sanitary sewer and transportation needs, that benefit the plan area and the surrounding community and spur additional quality development in the southeast portion of St. Joseph;
- Provide useable open spaces that buffer adjacent land uses, connect to adjacent greenways, and are an asset for the users of the development and the surrounding community.

[This Space Intentionally Left Blank]

016 10 11 01 2005
077 11 11 01 2005

ARTICLE III – Development Principles

Development Principles

The following section outlines the basic use and development principles for the Riverside Business Park Precise Plan. These principles shall provide a general guide for land development within the Plan area.

- The development site is located on large contiguous parcels of land. As such, the future developers shall seize the opportunity to plan and develop the property as one coordinated development, phased in over time.
- The development has tremendous access to major transportation routes. Coordinated connections to these routes are important to the development of the property.
- The plan shall have the flexibility to respond to changes in the market demand, over time.
- The development is planned as a mixed-use development, combining office financial, office warehouse, business park, and open space uses. The design guidelines in the plan shall guide the development of plan areas over time, ensuring consistent and quality design and construction.
- Within the plan area, businesses that provide high quality goods and services to the community, quality jobs for the community, and that elevate the character and level of quality of the development shall be encouraged.
- The plan shall be sensitive to the adjacent neighbors and neighborhoods, and shall provide for buffering, screening, and sensitive site planning to minimize development impact.
- The plan shall provide pedestrian connections from the adjacent residential neighborhoods to the development open space / trail system, and within the development itself.
- The plan shall provide increased vehicular accessibility around and through the development site, including extension of Riverside Road and connections to Riverside Road from the development.
- The plan shall provide safe, convenient, and accessible pedestrian circulation through the development of dedicated routes, trails and walks.

[This Space Intentionally Left Blank]

09/15/05 11:07:50 AM
CITY OF RIVERSIDE

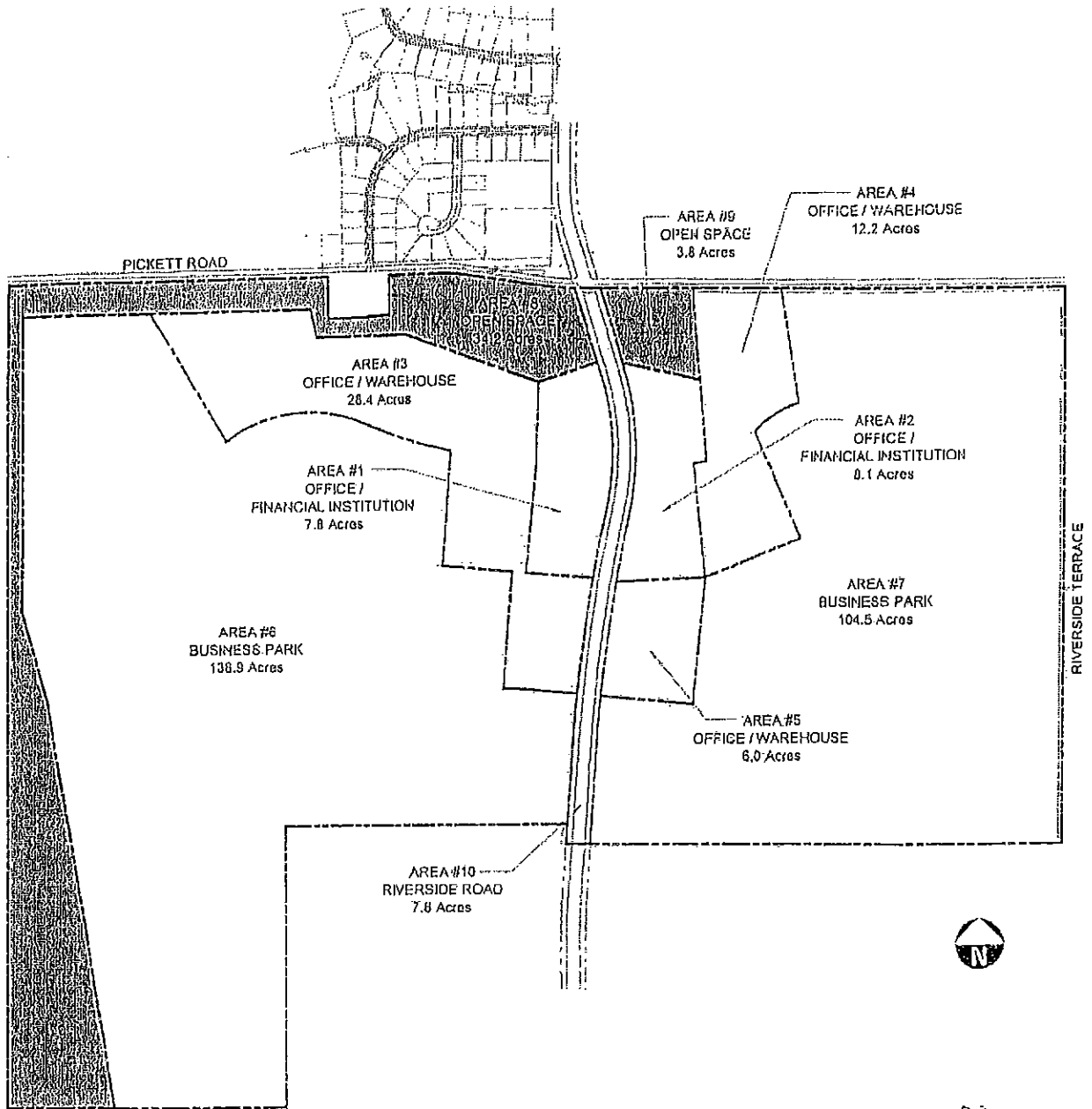
ARTICLE IV – Land Uses Areas

The precise plan establishes the following land use areas as indicated in Exhibit 2 – Land Use Area Plan and referred to in subsequent articles of this Precise Plan:

Description	Land Use Classification	Area
AREA 1:	Office / Financial Institution	7.8 Acres
AREA 2:	Office / Financial Institution	8.1 Acres
AREA 3:	Office / Warehouse	28.4 Acres
AREA 4:	Office / Warehouse	12.2 Acres
AREA 5:	Office / Warehouse	6.0 Acres
AREA 6:	Business Park	138.9 Acres
AREA 7:	Business Park	104.5 Acres
AREA 8:	Open Space	34.2 Acres
AREA 9:	Open Space	3.8 Acres
AREA 10:	Riverside Road	7.6 Acres

[This Space Intentionally Left Blank]

Exhibit 2
LAND USE AREA PLAN



2005 AUG 11 11 09 AM
CITY OF RIVERSIDE

ARTICLE V – Development Standards

The following Development Standards outline the specific uses permitted within each Land Use Area and define the development standards appropriate for each Land Use Area. The intent of these standards is to provide a guide for appropriate planning of the development and circulation patterns of the development. Application of these standards will promote the best use of the land, encourage use compatibility and minimize conflicts between differing adjacent uses.

Purpose

The purposes of the Development Standards are as follows:

- To establish use regulations, performance standards, height and area regulations and design guidelines;
- To consolidate compatible uses within appropriate land use areas to ensure expansion opportunities for existing uses as well as to provide protection for new uses; and
- To regulate uses at the boundaries of such land use areas to control incompatibilities and adverse impacts on uses in adjacent land use areas and adjacent zoning.

General Standards

A. Architectural Compatibility

1. To the maximum extent practicable, the design of adjacent developments, including developments located across a street from each other, shall be compatible with each other in order to promote a common character and sense of arrival.
 - a) "Compatibility" may be achieved through a combination of the following:
 - i. Incorporation of similar architectural materials, colors and architectural styles that are easily read and understood by motorists on adjacent streets; AND
 - ii. Common site design elements such as site and area features, building lighting, common landscape treatments (especially at corner lots) and consistent and attractive signage.
 - b) "Compatibility" with existing adjacent non-conforming land uses and structures shall not represent just cause for any new development or re-development to be planned in a manner which is not in full compliance with the requirements of the Riverside Business Park Precise Plan.

B. Outside Storage

1. No outside storage of any type, including but not limited to materials, supplies, equipment, vehicles, finished or semi-finished products, raw materials or articles of any nature shall be stored or permitted to remain on any property outside of the Building or Buildings constructed thereon, without being screened and/or fenced in a manner so as to not be objectionable to occupants of other Building Sites in the Precise Plan area or to the general public, and shall be continued only in accordance with the terms of the original approval of

such storage. Screening "to the extent possible" shall mean that screening shall be provided such that the outside storage is not highly visible from locations that are designed for regular, long term occupancy by people or from roadways, nor from roadways from which there is a direct line of sight visibility.

2. Facilities for storage of waste and rubbish shall be maintained within a screened area in closed metal containers of type approved by the City of St. Joseph in writing and only in locations presented on the approved development site plan.
 - a) All screening enclosures shall be constructed of materials compatible with the primary structure which occupies the property being served by said enclosure.
 - b) Architectural plans for screening enclosures shall be submitted along with the development site plan documents for approval by the City of St. Joseph.

C. Circulation

1. Circulation patterns should be thoughtfully planned and designed to provide safe and intuitive movement throughout the Precise Plan Area.
 - a) Connections between various internal Land Use Areas should be easily understood and direct to minimize confusion and to limit unnecessary vehicular traffic congestion.
 - b) Connections to adjacent roadways should provide adequate and safe access to and from the development.
 - c) All vehicular routes shall be designed and built according to the standards of the City of St. Joseph Public Works Department.
2. Pedestrian circulation alternatives should be provided in all development areas.
3. The internal pedestrian circulation system should provide connection to public pedestrian ways and provide interconnection between land use areas including connection to AREA 7 (Open Space).
4. A circulation network plan should be provided along with all specific development site plans, indicating both vehicular and pedestrian circulation routes.

Standards by Area

Definitions:

Building Height: Shall be measured from the average finish grade elevation of the building line to the top of the fascia or coping of the primary building roof or parapet wall; mechanical penthouses are not included in this dimension, but should be enclosed or screened in a manner that blends with the exterior material and color of the primary structure.

Yards (Front, Rear, Side): Shall be as defined in Section 31-010 of the St. Joseph Zoning Ordinance, and as defined in the Article VI, Landscaping, Irrigation and Parking Lot Screening.

Maximum Building Coverage: Shall be defined as the percentage of the total Parcel Area covered by the cumulative "footprint" floor areas of all primary and accessory buildings located on a parcel.

CITY OF

AREAS 1 & 2 – Office / Financial Institution 2005 AUG 11 11:04

A. Permitted Uses:

1. In AREAS 1 & 2, no building, structure, land or premises shall be used and no building or structure shall be hereafter erected, constructed, reconstructed or moved, except for one or more of the permitted uses indicated in Table A – Table of Permitted Uses by Land Use Areas (page 12).

B. Height and Area Standards:

1. Maximum Building Height: 45 feet.
2. Front/Street Yard: No minimum front yard setback, except as may be required in Article VI of the zoning ordinance.
3. Side Yard: No minimum side yard setback, except as may be required in Article VI of the zoning ordinance.
4. Rear Yard: 10 feet, except as may be required in Article VI of the zoning ordinance.
5. Maximum Building Coverage: 80%, except as may be required in Section 31-053 of the Zoning Code, Off Street Parking and Loading.

AREAS 3, 4 & 5 – Office / Warehouse

A. Permitted Uses:

1. In AREAS 3, 4 & 5, no building, structure, land or premises shall be used and no building or structure shall be hereafter erected, constructed, reconstructed or moved, except for one or more of the permitted uses indicated in Table A – Table of Permitted Uses by Land Use Areas (page 12).

B. Height and Area Standards:

1. Maximum Building Height: 60 feet.
2. Front/Street Yard: 50 feet, except as may be required in Article VI of the zoning ordinance.
3. Side Yard: 15 feet, except as may be required in Article VI of the zoning ordinance.
4. Rear Yard: 10 feet, except as may be required in Article VI of the zoning ordinance.
5. Maximum Building Coverage: 40%.

AREAS 6 & 7 – Business Park

A. Permitted Uses:

1. In AREAS 6 & 7, no building, structure, land or premises shall be used and no building or structure shall be hereafter erected, constructed, reconstructed or moved, except for one or more of the permitted uses indicated in Table A – Table of Permitted Uses by Land Use Areas (page 12).

B. Height and Area Standards:

1. Maximum Building Height: 60 feet.
2. Front/Street Yard: 50 feet, except as may be required in Article VI of the zoning ordinance.

3. Side Yard: 15 feet, except as may be required in Article VI of the zoning ordinance.
4. Rear Yard: 10 feet, except as may be required in Article VI of the zoning ordinance.
5. Maximum Building Coverage: 40%.

AREAS 8 & 9 – Open Space

A. Permitted Uses:

1. See Table A – Table of Permitted Uses by Land Use Areas (page 12).

B. Height and Area Standards:

1. Plans for any structures proposed for AREAS 8 & 9 (Open Space) shall be submitted to the City of St. Joseph for approval and permitting.

AREA 10 – Riverside Road

A. Permitted Uses:

1. See Table A – Table of Permitted Uses by Land Use Areas (page 12).

Accessory Uses

Accessory uses pursuant to Section 31-050 of the Zoning Ordinance of St. Joseph, Missouri including, but not limited to, parking areas, loading docks, and trash enclosures, are permitted in the Precise Plan Area subject to compliance with the height and area regulations and the design standards of the Precise Plan and other applicable requirements of the zoning code.

[This Space Intentionally Left Blank]

2005 JUL 11 10 59 AM
CITY OF ST. JOSEPH

TABLE A: Permitted Uses by Land Use

	Land Use Area								
	Area #1 Office / Financial	Area #2 Office / Financial	Area #3 Office / Warehouse	Area #4 & 5 Office / Warehouse	Area #6 Business Park	Area #7 Business Park	Area #8 Open Space	Area #9 Open Space	Area #10 Riverside Road
X = Denotes a permitted use									
na = Denotes existing use not anticipated to change									
- = Denotes a non permitted / prohibited use									
Construction					X	X	-	-	-
Building construction— general	-	-	-	-	X	X	-	-	-
Heavy construction other than building construction contractors	-	-	-	-	X	X	-	-	-
Construction— special trade contractors	-	-	-	-	X	X	-	-	-
Manufacturing					X	X	-	-	-
Food & kindred products	-	-	-	-	X	X	-	-	-
Apparel & other finished products made from fabrics	-	-	-	-	X	X	-	-	-
Furniture & fixtures	-	-	-	-	X	X	-	-	-
Paper & allied products (not paper mills)	-	-	-	-	X	X	-	-	-
Printing, publishing, & allied industries	-	-	-	-	X	X	-	-	-
Rubber & misc. plastics products	-	-	-	-	X	X	-	-	-
Industrial & commercial machinery	-	-	-	-	X	X	-	-	-
Computer equipment	-	-	X	X	X	X	-	-	-
Electronic & other electrical equipment & components, except computer equipment	-	-	-	-	X	X	-	-	-
Measuring, analyzing & controlling instruments; photographic medical & optical goods; watches & clocks	-	-	-	-	X	X	-	-	-
Transportation, communications, electric, gas, & utility services									
Local & suburban transit & interurban	X	X	X	X	X	X	-	-	-
Motor freight transportation & warehousing	-	-	-	-	X	X	-	-	-
United States Postal Service	X	X	X	X	X	X	-	-	-
Transportation services	-	-	-	-	X	X	-	-	-
Communications	-	-	X	X	X	X	-	-	-
Wholesale trade									
Wholesale trade— durable goods	-	-	-	-	X	X	-	-	-
Wholesale trade— non-durable goods	-	-	-	-	X	X	-	-	-
Finance, insurance, and real estate									
Depository institutions	X	X	X	X	X	X	-	-	-
Nondepository credit institutions	X	X	X	X	X	X	-	-	-
Security & commodity brokers, dealers, exchanges & services	X	X	X	X	X	X	-	-	-
Insurance carriers	X	X	X	X	X	X	-	-	-
Insurance agents, brokers & service	X	X	X	X	X	X	-	-	-
Real estate	X	X	X	X	X	X	-	-	-
Holding & other investment offices	X	X	X	X	X	X	-	-	-
Services									
Personal services	X	X	X	X	X	X	-	-	-
Business services	X	X	X	X	X	X	-	-	-
Automotive repair, services & parking	X	X	X	-	X	X	-	-	-
Misc. repair services	X	X	X	-	X	X	-	-	-
Health services	X	X	X	X	X	X	-	-	-
Legal services	X	X	X	X	X	X	-	-	-
Educational services	X	X	X	X	X	X	-	-	-
Social services	X	X	X	X	X	X	-	-	-
Museums, art galleries & botanical & zoological gardens	X	X	X	X	X	X	-	-	-
Membership organizations	X	X	X	X	X	X	-	-	-
Engineering, accounting, research, management & related services	X	X	X	X	X	X	-	-	-
Warehousing	-	-	-	-	X	X	-	-	-
Open Space									
Recreation	-	-	X	X	X	X	-	X	X
Trails, walks, & paths	-	X	X	X	X	X	X	X	X
Parks	X	X	X	X	X	X	X	X	X
Water features	X	X	X	X	X	X	X	X	X
Preserved vegetation, woods, meadows, prairie and wetlands	X	X	X	X	X	X	X	X	X

ARTICLE VI – Design Guidelines

Purpose

The purpose of the Design Guidelines is to more specifically guide future development of the Precise Plan Area in a cohesive and architecturally consistent manner. The following standards are hereby established to reinforce a commonality and high quality architecture throughout the Plan Area.

A. Architectural Standards:

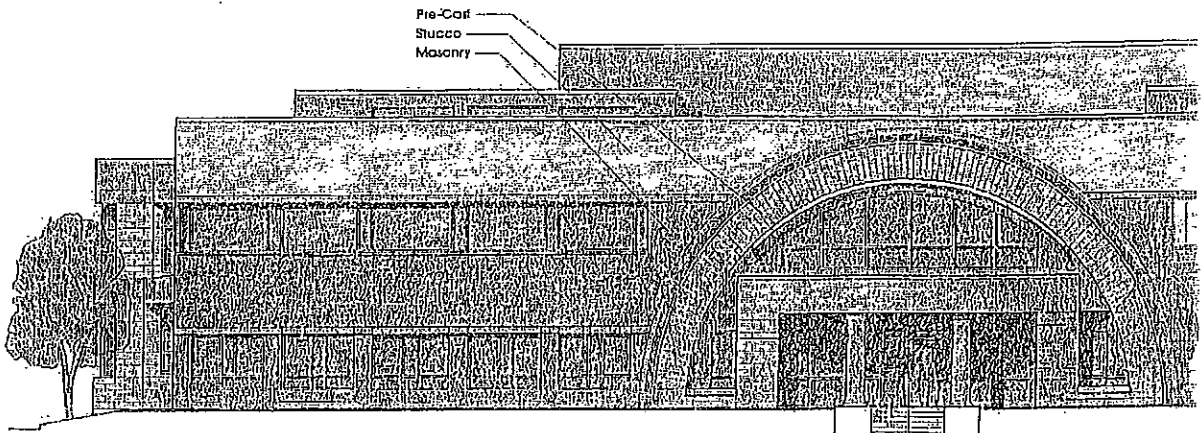
Definitions:

Masonry: Any combination of a mixture of brick, stone, or architectural CMU.

Facade: Any face of a building given special architectural treatment.

1. AREAS 1 & 2 – Office / Financial :

- a) Individual building designs should add richness to the built environment and are encouraged to be positioned to accentuate and create a 'gateway' to the Business Park. Areas 1 & 2 are critical to establishing a first impression of the development and should be of the highest quality design.



Example Office / Financial Building

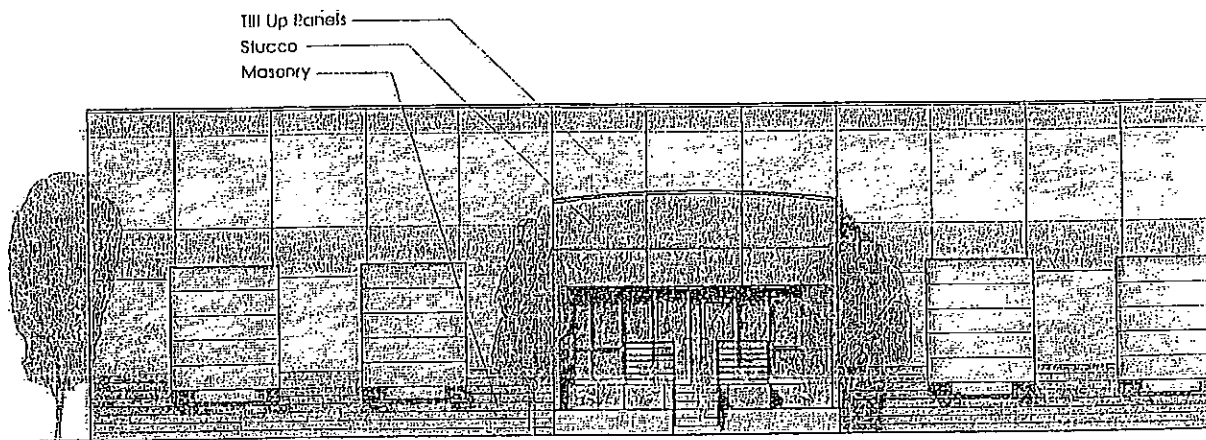
b) Exterior Finishes

- i. The exterior of the building shall be primarily a mixture of masonry, cast stone stucco, or glass with accents/banding of differing colors and/or textures of these materials. Masonry veneer shall comprise at least 30% of building facade.
 - ii. All exposed metal exterior wall surfaces shall be of flat metal panels with no exposed fasteners.
 - iii. Corrugated metal walls shall not be allowed in Areas 1 & 2.
- c) The exterior of all buildings on a building site shall be illuminated according to a plan approved by the St. Joseph Business Park Corporation.
 - d) In the event that any building or other improvement on a building site is to be constructed or otherwise improved with an exposed metal roof, such as a standing

seam metal roof or similar installations, the St. Joseph Business Park Corporation may require that said roof be finished with an enduring finish in an approved color to achieve an aesthetically pleasing appearance of said roof from other portions of the Entire Tract.

- e) All roof top mechanical equipment shall be screened from view from all adjacent roadways and residences in a method compatible with the architecture of the building.

- 2. AREAS 3, 4 & 5 – Office/ Warehouse: All buildings erected within these areas shall be constructed according to the standards for Areas 1 & 2 with the following modifications.



Example Office / Warehouse Building

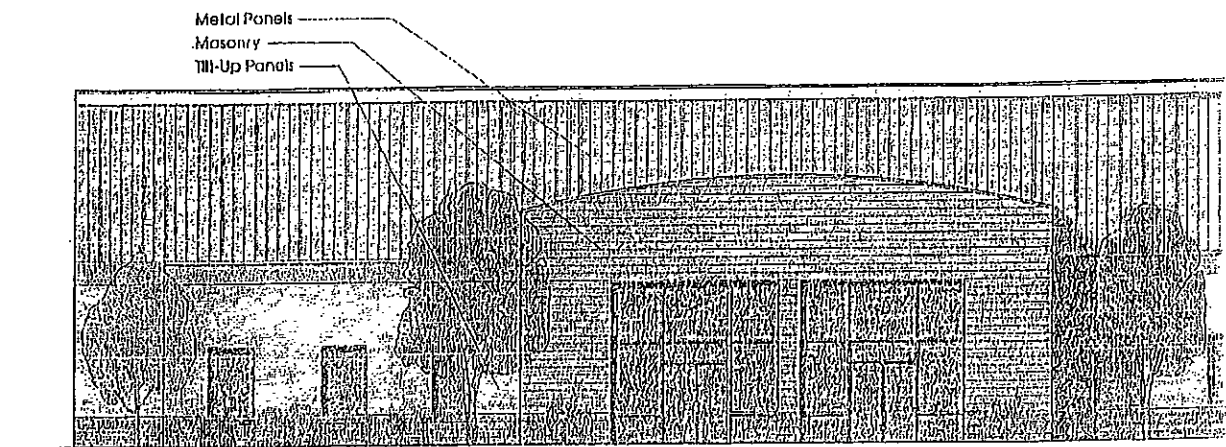
- a) Exterior building walls facing the street shall be primarily a mixture of masonry, cast stone stucco, accents/banding of differing colors and/or textures of these materials. Masonry veneer shall comprise at least 20% of building facade.
- b) Exterior walls of buildings not facing streets may be constructed of painted tilt up concrete or metal panel, provided returns of twenty feet (20') are constructed from walls facing streets of the same material as the material on walls facing streets.
- c) In no case shall one side wall be constructed of different materials than another side wall unless approved in writing by the St. Joseph Business Park Corporation.
- * d) Loading docks and service doors cannot face Picket Road.

- 3. AREAS 6 & 7 – Business Park: All buildings erected within these areas shall be constructed according to the standards for Areas 1-5 with the following modifications.

RECEIVED
JUL 10 2005

[This Space Intentionally Left Blank]

CITY OF RIVERSIDE
14:6:117 11 919 2007



Example Business Park Building

- a) Building walls that face the street shall be finished with a mixture of Stucco or tilt up concrete with accents/banding of differing colors of brick, stucco, cast stone or masonry veneer. Masonry veneer shall comprise at least 10% of building façade. This applies to buildings that face South Riverside Road, Pickett Road, and the internal development streets.
 - b) With the written permission of the St. Joseph Business Park Corporation, exterior walls of buildings not facing streets may be constructed of painted concrete block, tilt up concrete panels or metal panel. Masonry or concrete walls must extend up 10' minimum from the finish floor at all exterior walls.
 - * c) Loading docks and service doors shall not face South Riverside Road, or Picket Road.
4. AREAS 8 & 9 – Open Space: The open space areas shall range in character from natural and untouched riparian area at the southwest corner of the project area to an improved landscaped buffer along Pickett Road. The buffer area along Pickett Road shall be improved with additional landscape materials, smooth rolling earth berms and a meandering pedestrian trail system. The trail shall provide for future connection to City sidewalks along Pickett Road and shall connect to the internal system of walkways. Due to the natural topography of the site the areas near the intersection of Pickett Road and Riverside Road afford the opportunity for an enhanced gateway feature. Such feature may include monument signage and increased landscape treatments. This area may also be developed as a naturally landscaped wet detention area with a water feature on either or both sides of Riverside Road.
- a) Any structures proposed for AREAS 8 & 9 shall be appropriately designed to compliment the context of a natural park-like setting and meet the intent of Areas 8 & 9 being primarily passive, open space areas.
 - b) Materials will compliment the natural environment within which any proposed structures are situated.
 - c) Natural, indigenous construction materials such as wood and stone masonry are recommended.

JUL 05 2005

d) Trails, walks, and paths shall be provided throughout the open space areas with connections to the public pedestrian circulation system and to the internal walkway system.

i. Materials used for construction of trails, walks, and paths shall be reflective of their intended use and expected traffic volumes.

ii. Acceptable materials for trails include but are not limited to:

- a.) Concrete
- b.) Asphalt
- c.) Wood chips
- d.) Maintained turf
- e.) Others as approved by the City of St. Joseph

B. Parking regulations:

1. The parking lot standards for uses in the Precise Plan Area shall be as required for the various uses in Section 31-053 and Table 31-053 of the Zoning Ordinance of St. Joseph, and as provided in this plan. If there is a direct conflict between the plan and the Zoning Ordinance, the plan shall take precedence.

2. The number of parking spaces required in all areas shall be as outlined in Table 31-053 (page 31:105) of the Zoning Ordinance of St. Joseph unless otherwise determined by the City of St. Joseph as part of the plan approval.

3. The number of handicap stalls and their dimension and locations shall be provided for the development and determined from the ADA specifications.

4. If any tenant requires a deferral of parking spaces it may be granted in writing by the City of St. Joseph as long as the tenant or tenant's representative is able to demonstrate that the proposed usage does not require the number of parking stalls. Parking may also be deferred for the implementation of other aesthetic amenities not required by this Precise Plan, on condition of written approval by the City of St. Joseph.

5. Parking lot paving and design requirements.

a) All parking lots shall be hard-surfaced (dustless) with concrete, asphalt or similar material. Dirt and loose gravel are prohibited.

b) All parking lots shall be striped for definitive automobile spaces in the number, size and design as required by Section 31-053 of the Zoning Ordinance of St. Joseph.

c) All off-street parking facilities shall be used solely for the parking of vehicles in operating condition by patrons, occupants or employees of the principal use. No motor vehicle repair work, except emergency service, shall be permitted outdoors.

d) All off-street parking spaces shall be provided with safe convenient, access to a public street.

e) All off-street parking areas shall comply with commonly accepted geometric design standards which may include, but which shall not be limited to: angle of parking; direction of parking; width of parking space; depth of parking space; and width of aisles. In general, design should meet the minimum standards provided in the Zoning Ordinance of St. Joseph.

f) All parking lots shall be illuminated in accordance with the standards of the City of St. Joseph for minimum public parking area illumination.

- i. All lighting fixtures used to illuminate off-street parking areas shall be designed to direct light downward, to minimize glare, and will be equipped with cut off shields to minimize spill-over light onto adjacent properties. Parking lots shall not be illuminated by wall pack lighting.

C. Landscaping, Street Trees, Landscape Setback/Buffer Area, and Screening Standards:

1. Purpose and applicability:

- a) The provisions within this Precise Plan shall take precedent over Article VI of the zoning ordinance for landscape buffers and parking lot screening only. Street yard landscaping within Article VI of the zoning ordinance shall take precedence over the plan to the extent that said standards of Article VI require additional landscape area over and above that required within this Precise Plan
- b) The general intent of the overall landscaping standards is to break down the visual impact of large parking areas and building facades by intensifying landscaping near building facades and entrances, along the internal roads, and along pedestrian walkways.
- c) All required landscaping shall be installed and in healthy condition prior to issuance of a Certificate of Occupancy unless waived in writing by the St. Joseph Business Park Corporation.
- d) Landscape Setback Buffer Area: The purpose of the landscape setback/buffer area is to separate potentially conflicting land uses and to provide a visual buffer between such uses. The landscape setback/ buffer area is required for all new permitted uses in the Precise Plan area.
- e) Screening Standards: The purpose of the screening requirements is to shield certain accessory structures and uses associated with new permitted uses through the use of planting and/or structural screen walls. The screening requirements shall be applicable to the following (and any similar) accessory uses and structures:
 - i. outdoor storage areas;
 - ii. outdoor service and loading areas;
 - iii. refuse collection areas;
 - iv. exterior mechanical and utility equipment;
 - v. exterior maintenance equipment; and
 - vi. exterior communications apparatus.
- f) Street Trees: The purpose of the street tree requirement is to create a more desirable visual image along streets and to visually link the various land uses that develop throughout the Precise Plan Area.
 - i. The street tree requirement shall be applicable to all new permitted uses in the Precise Plan Area.

2. Requirements:

- a) Landscape setback/buffer area requirements: A landscape setback/buffer area is required along the common property line associated with the side and rear yard areas of new permitted uses according to the following:
 - i. AREAS 1 & 2: 10' minimum landscape buffer
 - ii. AREAS 3, 4 & 5: 10' minimum landscape buffer
 - iii. AREAS 6 & 7: 5' minimum landscape buffer

CITY OF RIVERSIDE
2005 AUG 11 10:00 AM

CITY OF RIVERSIDE
PLANNING DEPARTMENT

- b) Landscape setback/buffer area design standards: The minimum quantity of trees and shrubs within the side and rear yard landscape setback/buffer area shall be as follows:
- i. The ten foot landscape setback shall require one tree per 30 feet along the length of the buffer; and
 - ii. The five foot landscape setback shall require one tree per 20 feet along the length of the buffer.
 - iii. Any shrubs planted in the landscape buffer area shall not be strung out evenly for the entire length of the buffer area. Rather shrubs shall be clustered within the buffer area in beds, in areas where the greatest impact can be made. Shrubs shall only be planted as an uninterrupted, continuous hedge or shrub mass.
 - iv. Trees shall be planted in beds as much as is possible for ease of maintenance. Those not planted in beds shall have a minimum 3' mulch ring at the base of the tree.
 - v. Landscape and ground cover area beds shall have cover at the time of planting a minimum of 60% percent ground coverage of plant material; the remaining 40% percent may be nonliving, consisting of bark, wood chips, decorative rock or stone or other similar material. The plant material will be of quantity and spacing so that in 2-4 years, 100% ground coverage shall be achieved.
 - vi. Turf areas may be seeded or sodded. Coverage after 3 mowing cycles shall be 100%.
 - vii. Depending on the size and spacing of the selected palette of trees, trees may be located outside of, but adjacent to the buffer area.
 - viii. All trees shall be a minimum of two-inch caliper, and all shrubs shall be a minimum container size of five gallons with a minimum mature height of four to six feet.
- c) The required landscape setback/buffer area is a minimum width. Additional area adjacent to the required buffer area may be utilized for the location/ siting of required trees and/or to achieve a specific design intent.
- d) Landscape maintenance standards:
- i. Plant materials that have died or are no longer functional shall be replaced within one year.
 - ii. Plant materials shall be maintained in such a manner as to preserve their functional and aesthetic integrity.
 - iii. All trees adjacent to pedestrian and vehicular spaces shall be maintained so that mature branching occurs a minimum of seven feet from the ground.
 - iv. All shrubs and trees shall be planted so as to avoid obstructing visibility from a vehicle. A clear sight triangle of a minimum of 25 feet from an intersection shall be established to ensure such visibility and safety.
- e) Screening requirements: Each accessory use and structure associated with new permitted uses shall be totally screened by a 100% opaque structure, including fences and walls, to a minimum six foot height such that the use or activity is not visible from adjacent uses or streets. The screen shall completely obstruct view through the structure. The opaque structure shall be located as near as possible to the use or activity without interfering with the functional requirements of the use or activity.
- i. All ground mounted utility equipment including, but not limited to transformers, backflow prevention enclosures, and meters located in front yards shall be screened with a combination of the aforementioned opaque structure. If adequate screening can be achieved through the use of landscaping only, the opaque

JUL 05 2005

structure may be omitted upon written approval of the St. Joseph Business Park Corporation.

- f) ii. Fire hydrant and public safety facilities shall be excluded from this screening.
- Street Tree requirements: Street Trees shall be provided at a minimum along both sides of all internal public roadways as follows:
- i. Street Trees shall be spaced at approximately 50' on center taking into consideration the location of curb cuts, drives, and other unavoidable obstructions.
 - ii. Street Trees generally shall be large shade trees that attain a minimum mature height of 50'-60', provide attractive fall color, and are relatively free of "messy" nuts and fruits which over time would collect in streets and create maintenance or unsightly appearance problems.
 - iii. In order to create a consistent appearance throughout the development, a minimum of two and a maximum four species shall be used for all Street Trees and all Street Trees shall be the same size and general condition upon installation.
 - a.) A Street Tree Plan for the entire business park shall be provided prior to the development of the business park.
 - b.) Future phases shall incorporate the Street Tree Plan set up in the initial phase.
 - c.) Street Trees shall be a minimum of 2 1/2 - inch caliper when installed.
 - iv. Street Trees shall be evenly spaced and aligned along both sides of the street in order to create a formal, symmetrical appearance.
 - v. Street Trees shall be installed within the public right of way. In cases where limited right of way width makes this impractical, trees may be located outside of, but as close as possible to, the public right of way.

D. Parking Lot Landscaping Design Standards

1. Purpose and applicability:

- a) The purpose of the parking lot screening and landscaping requirements is to provide relief from large, hard paved surfaces associated with parking lots necessary to meet the needs of nonresidential developments and to improve the visual appearance of the Precise Plan Area.
- b) The parking lot landscaping requirements shall be applicable to all new permitted and special permit uses with open parking lots. These requirements are only applicable to parking lots and surfaces. The general landscaping requirements apply to all other areas.
- c) Two types of parking lot landscaping are required:
 - i. Screening or buffering between the parking lot and adjoining land uses and adjacent streets; and
 - ii. Trees for shading within parking lots.
- d) Parking lot screening.
 - i. The perimeter area of all on-site, open parking areas shall be screened from the view of adjacent properties and streets to an eventual minimum height of three feet by the use of berms, walls and/or plantings.
 - ii. Parking lot screening shall be designed so as to avoid obstructing visibility from vehicles in the parking lot or on adjacent streets. A clear sight triangle of a minimum of 25 feet from an intersection shall be established to ensure visibility and safety.

JUL 05 2005

CITY OF RIVERSIDE
2005 AUG 1 10 54 AM

- iii. The parking lot screening requirement does not apply to internal parking lots which do not directly front adjacent properties or streets.
 - iv. One hundred percent of the affected street frontage or property boundary, excluding intersecting driveways, must have the required screening.
 - v. Structures such as decorative walls or fences may be approved if:
 - a.) The structure avoids a blank and monotonous appearance by such means as architectural articulation and/or the planting of vines, shrubs or trees; or
 - b.) The total use of berms and/or plantings is not physically feasible; or
 - c.) The structures complement the use of berms and/or plantings.
 - vi. The reference elevation for the base of the required screen shall be the surface of the parking area that is to be screened.
 - vii. The following maximum grades shall be conformed to in the parking lot screen area:
 - a.) Grass sod or seeded berms: 3:1 (three feet horizontal: one foot vertical); and
 - b.) Planting beds: 2:1
 - viii. Where a parking lot is located adjacent to or comes in direct contact with a side or rear yard setback, the side and rear yard landscape setback/buffer area requirements shall apply and the above parking lot screening requirements shall be waived.
- e) Parking lot landscaping.
- i. Generally, there shall be landscaping along all pedestrian walks and there shall be landscaping along all vehicular entries from the surrounding city streets and the interior circulation roads.
 - ii. For every ten parking spaces in the parking lot area, one tree will be required to be planted within the parking lot area. This does not mean one landscape island is required for every ten spaces. More than one required tree may be placed in a landscape island as long as the island is large enough to support its healthy growth.
 - iii. The required trees shall be located within the parking lot so as to divide and break up expanses of paving and long rows of parking stalls and to create a canopy effect. In general, a minimum of one tree should be located within 80 feet of any parking stall when measured from the trunk.
 - iv. The required parking lot trees should be located within the "parking lot area" where vehicles park and maneuver and not in designated landscape areas. "Within the parking lot area" means the trees must be located in planting areas bounded on at least two sides by parking lot paving. Only trees in landscape "islands," "dividers" or "fingers" shall count toward meeting the parking lot tree requirement.
 - v. There shall, at a minimum, be a landscape island with a minimum of one tree (2 1/2" min. caliper at installation) at the end of each row of parking.
 - vi. In cases where the size, location or design of parking lots may not significantly benefit from trees within the parking lot area, the required parking lot trees may be provided adjacent to the parking area, or at the end of aisles.
 - vii. The design and size of the landscape planter (islands, dividers and fingers) shall be sufficient to accommodate the growth of the tree and prevent damage to the tree by vehicles.

JUL 05 2005

E. Signage

1. Because of the unique nature of this development, the plan requires that an overall sign program with specific sign design guidelines be developed for each Land Use Area.
 - a) A sign program shall be established by the St. Joseph Business Park Corporation. Thereafter, individual signs shall be approved by the St. Joseph Business Park Corporation and/or their designee in accordance with the sign program
 - b) The sign program should generally follow the sign provisions of the City's Zoning Ordinance and the maximum size limits shall not exceed those outlined in *Article II, Signs*, of the St. Joseph Zoning Ordinance.
 - c) The program should attempt to unify the signs throughout the Precise Plan area such that there is sign consistency displayed throughout the Precise Plan area.
 - d) Allowable sign area should be based on the prominence of the user, size of the building facade upon which the sign is located (for wall mount signs), and nature of the use.
 - e) Freestanding signs should be restricted to monument type sign structures with a full, solid base at ground level or similar.
 - i. Free standing monument signs should be designed and constructed of materials and character compatible with the primary structure occupying the property upon which said sign is situated while maintaining consistency with the overall sign program for the Precise Plan area.
 - f) Monument signs shall be incorporated into landscape areas, said areas can be counted toward total landscape areas required.
2. Building signage standards:
 - a) All signs shall comply with the criteria booklet furnished by the St. Joseph Business Park Corporation and as documented by this plan.
 - b) All signage is subject to the approval of the St. Joseph Business Park Corporation.
 - c) All signs must be made up of individual illuminated letters; conventional box signs will not be approved. Box signs with raised letters will be considered but are subject to landlord approval.
 - i. Lettering on all signs shall be limited to business or trade name of the premises as it is known. No sign manufacturer's name, union labels, or other lettering shall be visible. Logo signs or registered trademarks will be reviewed on an individual basis, but will be allowed only as approved by the St. Joseph Business Park Corporation as a part of the sign program.
 - ii. No exterior sign or sign panel will be permitted to extend above any roof line or parapet wall, whichever is higher.
 - iii. Any sign, notice or other graphic or video display, particularly self-illuminated signs, located within the store and which is easily visible from the shopping center will not be permitted.
 - iv. No exposed lamps or tubing will be permitted.
 - v. No exposed raceways, crossovers or conduits will be permitted.
 - vi. All signage returns shall be semi-gloss black enamel finish or blend with adjacent building color.
 - vii. All cabinets, conductors, transformers and other equipment shall be concealed from public areas, visible fasteners will not be permitted.

2005 AUG 11 11:51 AM 0027

- viii. All metal letters shall be fabricated using full-welded construction, with all welds ground smooth so as not to be visible.
 - ix. Acrylic or trimcap retainers used at the perimeter of sign letter faces shall match in color and finish the face or the sides of the sign.
 - x. Threaded rods or anchor bolts shall be used to mount sign letters, which are spaced out from the building face. Angle clips attached to letter sides will not be permitted. All mounting attachments shall be sleeved and painted, and concealed.
 - xi. All main signs are to be centered in the signage band.
 - xii. All electric signs and installation methods must meet UL standards and contain a UL label.
 - xiii. All illuminated signs must be turned on during the business's normal operating hours. The use of time clocks for sign lighting is required.
 - xiv. Lighting of signs shall be at hours as required by Landlord.
 - xv. Minimum letter height of all signage shall not be less than 60% of the maximum allowable letter height.
 - xvi. All buildings shall provide access to signs through a concealed access panel from the interior of the building, if applicable, to service and install exterior building signage.
- d) Additional Signage
- i. Signage on service doors shall be standard 4" height, identification only (name and address number). No other signage shall be applied to services doors without the written permission of the St. Joseph Business Park Corporation.
 - ii. All fire prevention and/or safety equipment shall be easily identified by a common marker display at the point of the apparatus.
 - iii. All signage must be shown to scale on the approved building elevations.
 - iv. All additional signage shall be submitted to the St. Joseph Business Park Corporation for approval.
 - v. Any minor deviations to these criteria will be reviewed on an individual basis and subject to developer approval.

[This Space Intentionally Left Blank]

CITY OF RIVERSIDE
2005 AUG 11 10 09 AM

ARTICLE VII – Implementation and Administration

- A. All new structures within the plan area shall be required to comply with all the requirements of the City of St. Joseph prior to construction and occupancy.
- B. A separate development plan review by the City of St. Joseph Development Review Committee, City Planner, or Building Official is required prior to City approval of proposals or issuance of permits. This review will occur as mandated by City policy.
- C. Conditional use permits: Uses not defined in this Precise Plan may be allowed via a Conditional Use Permit (CUP). The proposed use must be somewhat consistent with, and compatible to, principally permitted uses in the Precise Plan. The CUP process shall be as defined in Section 31-070 of the City of St. Joseph Zoning Ordinance.
- D. Variances and exceptions: Variances and exceptions shall be processed in compliance with, and as defined in Section 31-090 through Section 31-093 of the City of St. Joseph Zoning Ordinance.
- E. Appeals: Appeals to any decisions made as a result of the interpretation of the plan, decision of the City Planner, or Planning Commission by any person aggrieved, or by any officer, department, board, or bureau of the municipality affected by any decision of the chief building official or city planner, may be appealed to the Board of Adjustment. Such appeals shall be made within ten working days from the date of the decision by filing with the Planning and Zoning Division of the Planning and Community Development Department, City of St. Joseph, Missouri. In order to file an appeal, the requisite application and fee shall be paid to the Planning and Community Development Department unless waived by the Director of Planning and Community Development Department. The process for appeal, extent of the Boards appeal powers, stay of proceedings, and decisions on appeals shall be as defined in Section 31-091 of the City of St. Joseph Zoning Ordinance. Decisions of the Board of Adjustments may be appealed in the manner prescribed by law.
- F. Nonconforming structures and uses: If, by virtue of this Precise Plan, any structure or use should become non-conforming, the provisions of Section 31-056 of the St. Joseph Zoning Ordinance shall apply except as follows:
 - 1. Nonconforming parking lots shall be upgraded and landscaped as part of proposed building upgrades, however discretion can be made by the Planning and Community Development director or his/her designee at the time of the proposed upgrades to defer parking lot improvements based on financial considerations. The plan in no way is intended to deter necessary building upgrades or construction due to lack of parking lot improvements, but rather to encourage parking lot improvements for the benefit of the entire plan area. Normal parking lot maintenance as required by the City's Zoning Ordinance, however, is required within the plan area.
 - 2. A non-conforming use of property that does not have a building associated with said use on the same property shall be considered final, and not allowed to return to the property if discontinued for a period of one year. Said use shall be considered abandoned if said use has not been active for one year. The mere existence of a use on a property, for instance, does not allow for continuance of the use. The use must be active. It is incumbent upon the

APPROVED FOR THE CITY OF ST. JOSEPH

- property owner to show that the use is active. Agricultural uses shall be exempt from the standards of the plan.
3. Nonconforming uses in structures shall be allowed to continue for the life of the building, unless such use is discontinued for a period of at least two years. The mere existence of said use does not constitute continuation of the use. It is incumbent upon the property owner to show current receipts if the structure is used for rental purposes, or to show that an active use has continued if not for rental purposes. An active use is one in which the products, goods, or services have continued to be viable in so much as a market exists, or the stock contained therein is rotated on a basis that is consistent with other similar businesses. It shall be incumbent upon the property owner to show an analysis that proves that the stock is rotated in a manner that is consistent with similar businesses.
- G. Modification of the Precise Plan: Modification to this Precise Plan shall be made in accordance with the provisions of Section 31-071, "*Procedure for amendments to the zoning code or rezoning.*" Modification to the Precise Plan will not be considered by the City without first being approved by the St. Joseph Business Park Corporation Board (SJBPCB), said Board approval shall be required for as long as the said Corporation has an interest in the business park. If, in the future, the SJBPCB does not have an interest in the business park, application for modifications to this Precise Plan per Section 31-071 may proceed directly to the Planning Commission.

CITY OF ST. JOSEPH
2005 JUN 1 10 51 AM